

CERTIFICATE OF APPROPRIATENESS

Application Date: October 4, 2023

Applicant: Toufic Halabi, agent; Nicole Lowenstein, owner

Property: 1113 Tulane St, Lots 11 & 12, Block 205, Houston Heights Subdivision. 8,800 SF Lot with a 1,024 SF wood frame house. Note, HCAD indicates the lot size as 9,240 SF.

Significance: Contributing Hipped Bungalow, circa 1910, located in the Houston Heights Historic District West.

Proposal: New Construction – 516 SF detached garage with garage apartment

This new garage is in addition to the addition applied for on a different COA application.

Public Comment: None

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPLICATION CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
- (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
- (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions;
- (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that;

(a) Design guidelines for an individual historic district may provide that a new construction with two stories maybe be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a historic district that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district.

Heights Design Guidelines

S D NA

S - satisfies D - does not satisfy NA - not applicable

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 8,800 SF
Max. Allowed: 3,340 SF
Proposed Lot Coverage: 2,929 SF

-

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 8,800 SF
Max. FAR Allowed: 3,520 SF
Proposed FAR: 3,507 SF

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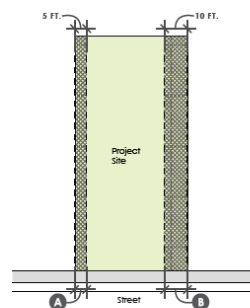
Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Meets

-

Side Setbacks (Addition and New Construction)



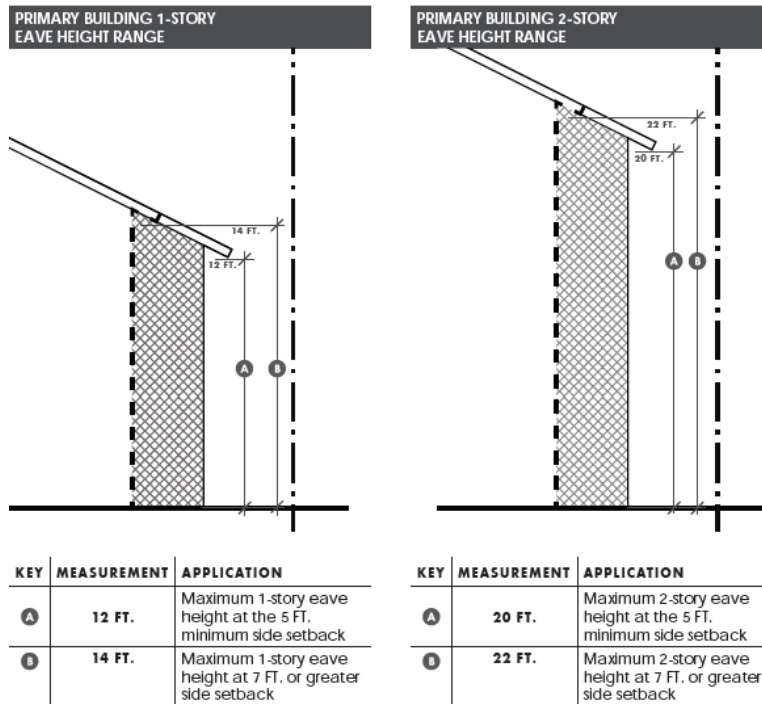
Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (north): 7'
Proposed side setback (south): 17'-0 3/8"
Cumulative side setback: approx. 23'- 10"

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-
-

Eave Height (Addition and New Construction)



Proposed eave height: 22'

HEIGHTS DESIGN GUIDELINES

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-
-

In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.



PROPERTY LOCATION
HOUSTON HEIGHTS WEST HISTORIC DISTRICT



Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



10/9/2023

6 of 12

Figure 1 - Summer 2023 Image

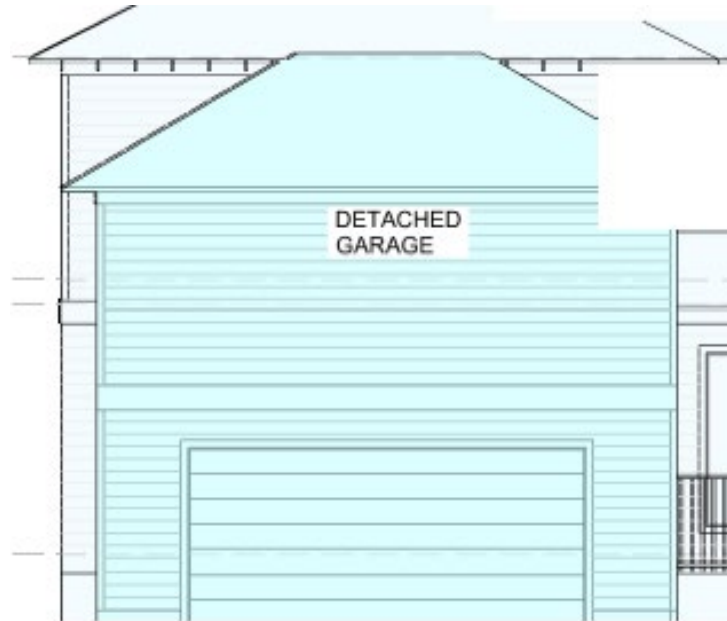


Figure 2-Proposed West Elevation

Proposed East Elevation not supplied at time of drafting of this report – Note that the East Elevation would not be visible from the Street.

PROPOSED North Elevation

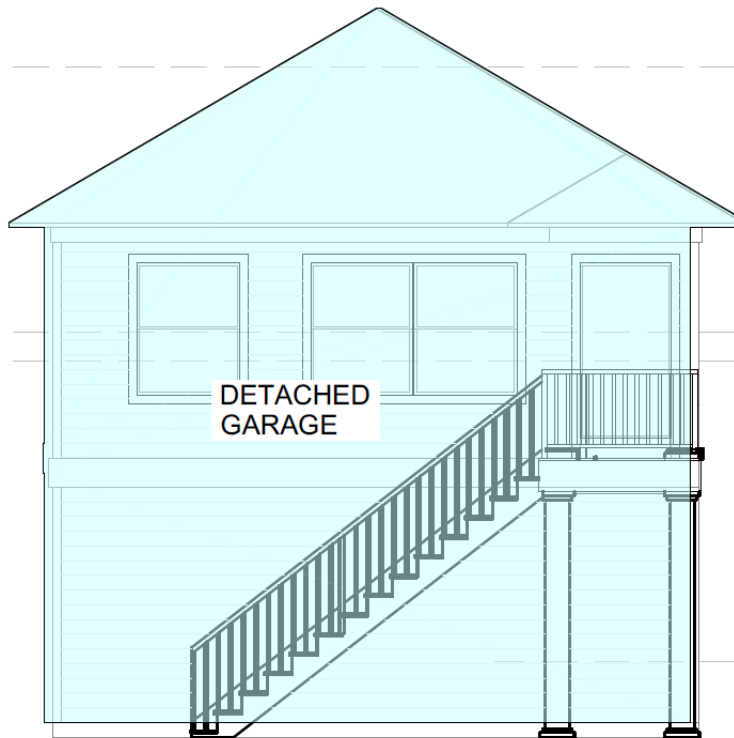
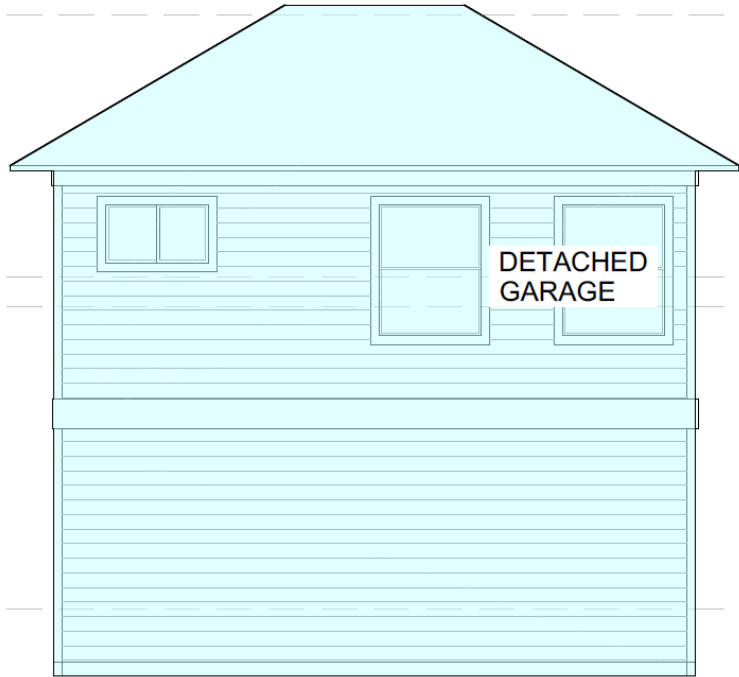


Figure 3 - Proposed South Elevation

Houston Archaeological & Historical Commission

October 12, 2023

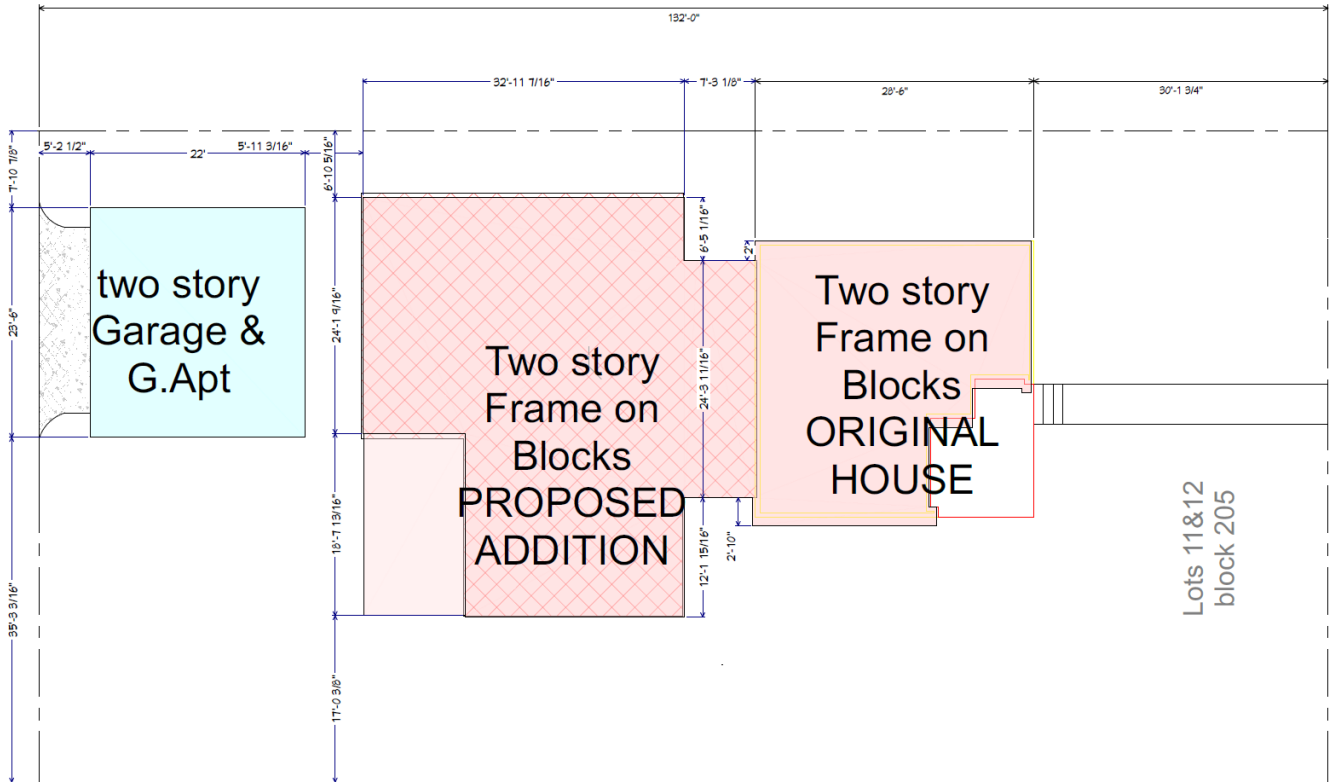
HPO File No. HP2023_0226

ITEM D.4

1113 Tulane Street
Houston Heights West

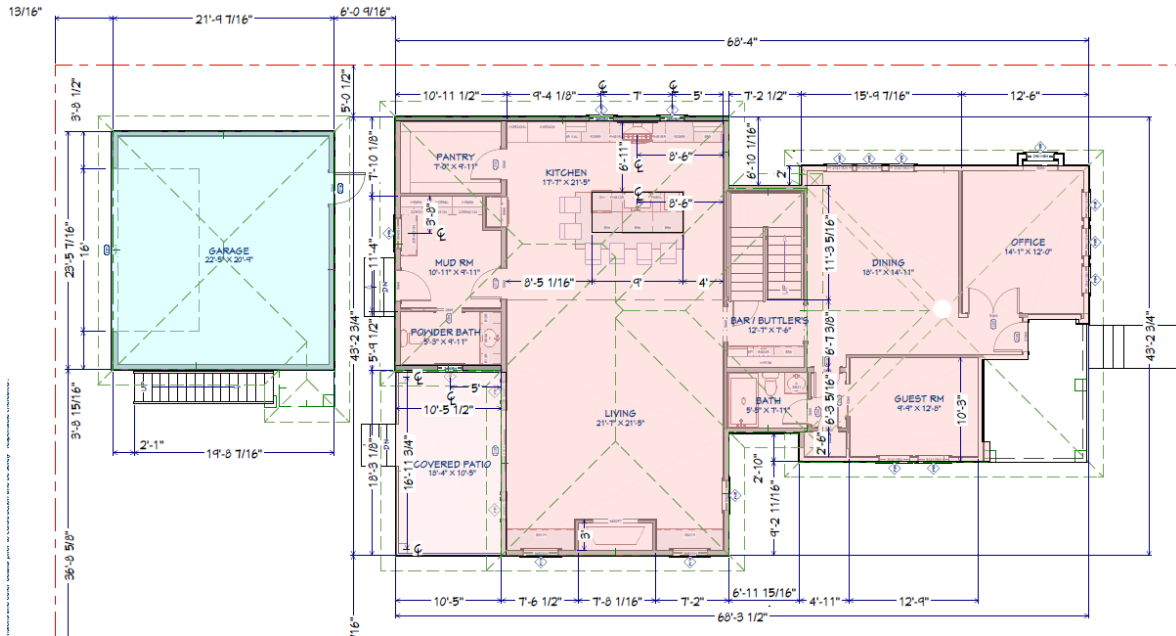
SITE PLAN

PROPOSED



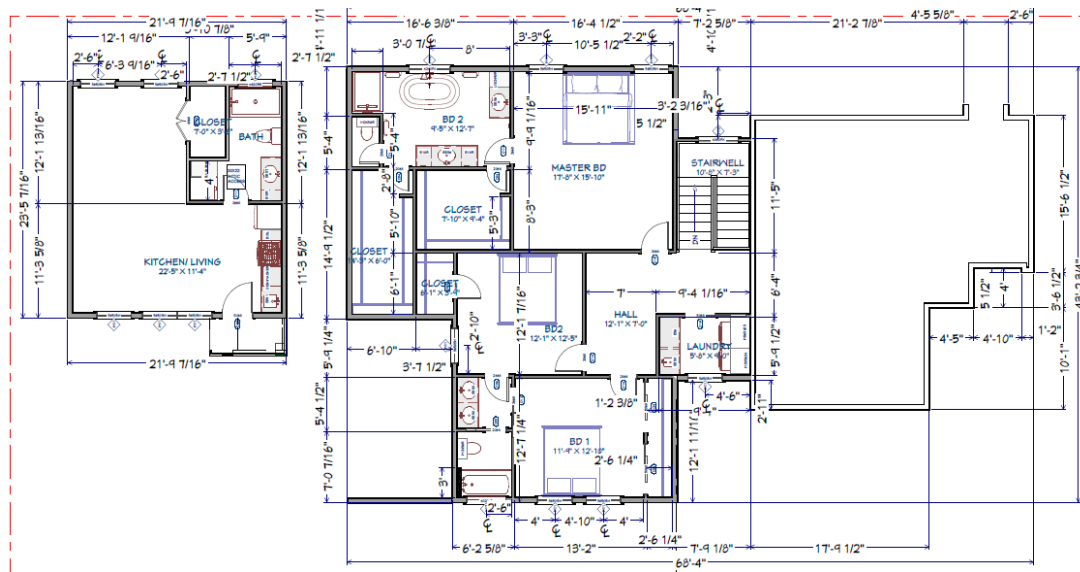
FLOOR PLAN

PROPOSED

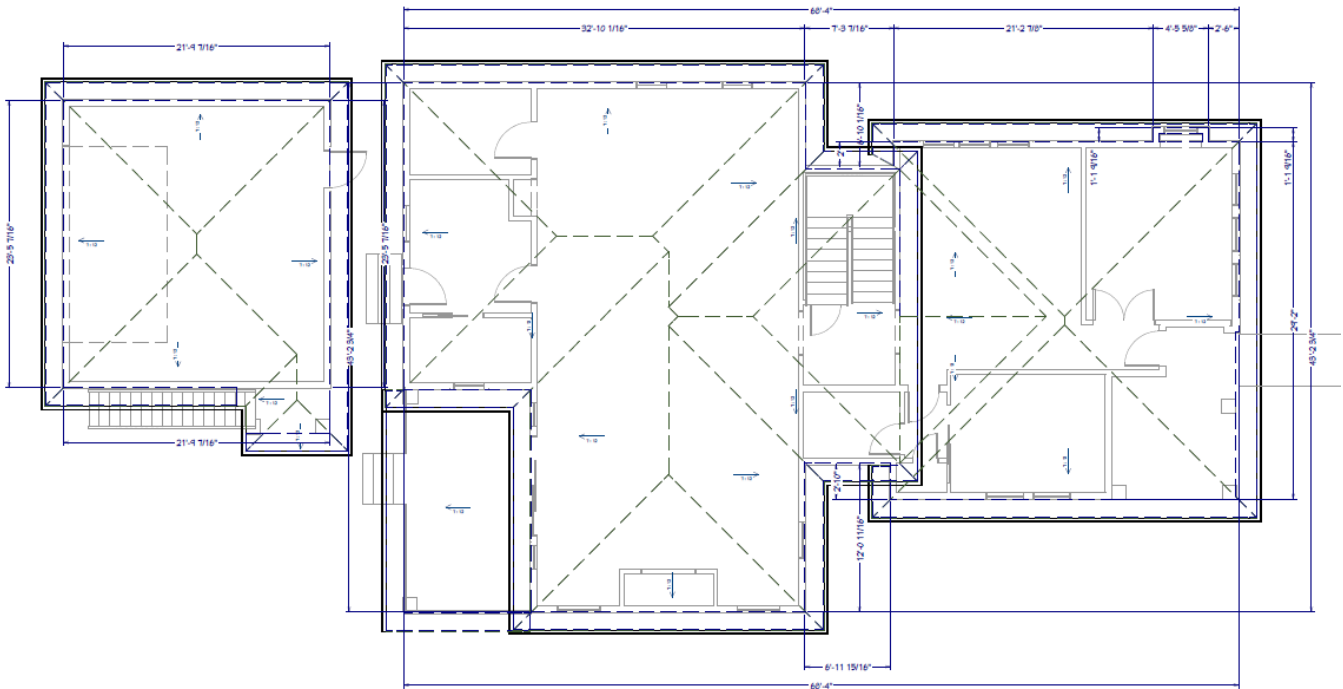


SECOND FLOOR PLAN

PROPOSED



ROOF PLAN



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VICINITY MAP

PROJECT LOCATION

ADOPTED CODES:

- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2020 NATIONAL ELECTRICAL CODE
- 2015 UNIFORM MECHANICAL CODE
- 2015 UNIFORM PLUMBING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 IECC

SINGLE HOME REMODELING AND ADDITION PROJECT

MISCELLANEOUS NOTES:

5/8" TYPE "X" SHEETROCK ON ALL WALLS & CEILING IN GARAGE

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE THE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH TEMPERED SAFETY GLASS.

PROVIDE ONE CARBON MONOXIDE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

*~ WINDOWS ENERGY EFFICIENT WINDOWS IN COMPLIANCE WITH IRC 2015, SECTION R 613

*~ ALL SMOKE DETECTORS SHALL COMPLY IRC 2015, R 314.3

*~ ATTIC ACCESS SHALL COMPLY IRC 2015

NOTE: DIMENSIONS ARE FROM FACE STUD TO FACE STUD. EXTERIOR DIMENSIONS ARE FROM FACE OF MATERIAL TO FACE OF MATERIAL

NOTE: DIMENSIONS AT NEW WALLS ARE FROM STUD TO STUD.

SUB-CONTRACTORS TO FIELD VERIFY AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PERFORMING THE WORK.

REFER TO DOOR AND WINDOW SCHEDULES FOR SIZES AND FIELD VERIFY BEFORE ORDERING. FOR STYLES REFER TO SELECTION SHEET.

DOORS AND WINDOW NOTES:

DOOR BETWEEN GARAGE AND HABITABLE SPACE MUST BE 20 MINUTE FIRE RESISTANCE RATED WITH CLOSER

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

INTERIOR DOORS SHALL BE PAINTED.

ATTIC NOTES:

ATTIC ACCESS APPLIANCES (PULL DOWN STAIRS) M1305.1.3 2015 IRC AMENDMENTS ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH A PULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS.

ATTIC ACCESS APPLIANCES (CATWALK) M1305.1.3 2015 IRC AMENDMENTS PROVIDE AN UNOBSTRUCTED PASSAGEWAY NO MORE THAN 20 FEET IN LENGTH WHEN MEASURED ALONG THE CENTERLINE OF THE PASSAGE WAY FROM THE OPENING TO THE APPLIANCE WITH A MINIMUM HEADROOM HEIGHT OF 30 INCHES AND A MINIMUM WIDTH OF 30 INCHES

ATTIC ACCESS APPLIANCE (CLEARANCE) M1305.1.3 2015 IRC AMENDMENTS . A LEVEL SURFACE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.

LEGEND * ITEMS THAT MAY APPEAR IN * DRAWING BELOW

A.E. = AERIAL EASEMENT	M.P. = METAL POST	P.E. = POOL EQUIPMENT	⊕ = CONTROL MONUMENT	- / - / - = WOODEN FENCE
B.L. = BUILDING LINE	M.U.E. = MUNICIPAL UTILITY EASEMENT	P.T. = POINT OF TANGENCY	● = PROPERTY CORNER	- X - X - = CHAIN LINK FENCE
BRS = BEARS	P.A.E. = PERMANENT ACCESS EASEMENT	P.U.E. = PUBLIC UTILITY EASEMENT	○ = PROPERTY LINE	- O - O - = METAL FENCE
C.F.# = CLERK'S FILE NUMBER	P.C. = POINT OF CURVATURE	S.I.R. = SET IRON ROD	- - - - - = EASEMENT LINE	- V - V - = WIRE FENCE
D.E. = DRAINAGE EASEMENT	P.O.C. = POINT OF COMPOUND CURVATURE	S.S.E. = SANITARY SEWER EASEMENT	- - - - - = BUILDING SETBACK LINE	- V - V - = VINYL FENCE
E.E. = ELECTRIC EASEMENT	P.E. = POOL EQUIPMENT	U.T.S. = UNABLE TO SET	- - - - - = BUILDING WALL	- - - - - = OVERHEAD ELECTRIC POWER LINE
F.I.P. = FOUND IRON PIPE	P.O.C. = POINT OF COMMENCING	U.E. = UTILITY EASEMENT		
F.I.R. = FOUND IRON ROD	P.O.B. = POINT OF BEGINNING	W.L.E. = WATER LINE EASEMENT		
FND. = FOUND	P.P. = POWER POLE	W.P. = WOODEN POST		
		W.S.E. = WATER & SEWER EASEMENT		

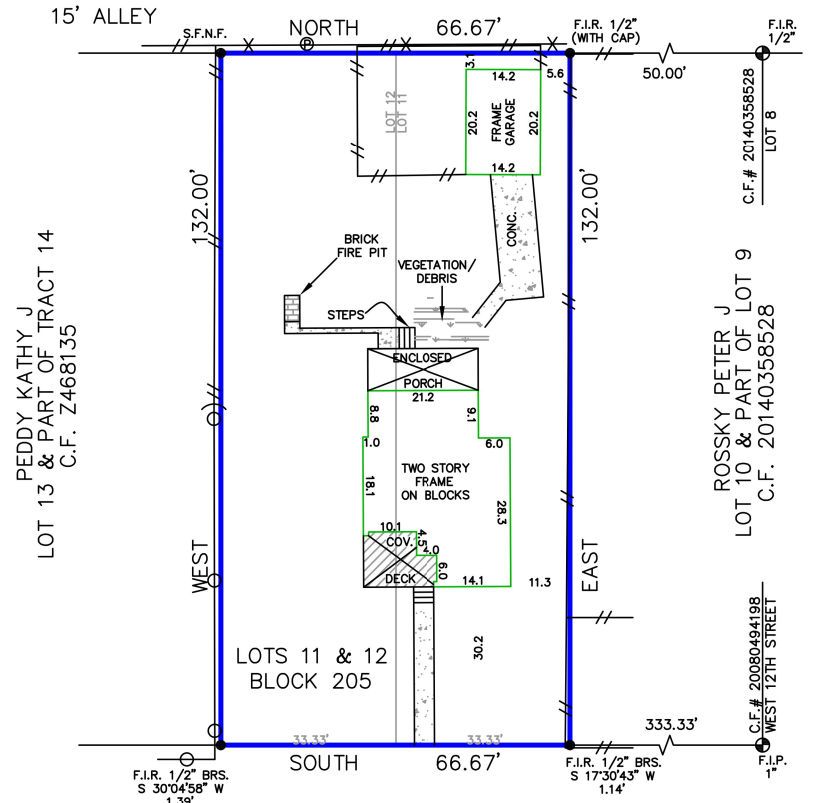
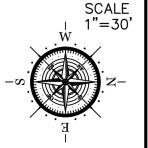
S.F.N.F. = SEARCH FOR NOT FOUND

BERG WILLIAM J
LOT 24 & PART OF LOT 23
RP-2020-478788

FULCHER EVAN E
LOT 25 &
PART OF LOT 26
RP-2021-168863

EBY KRISTIN
PART OF LOT 26
C.F. 20100485149

HRUZEK JENNIFER
LOTS 27 & 28
RP-2020-478788



1113 TULANE STREET
(PORTLAND STREET PER PLAT)
(70' R.O.W.)

Reviewed & Accepted by: _____ Date _____ / _____ / _____ Date _____

NOTES:
- BEARING BASIS: FILM CODE NO. 580238 H.C.M.R.
- SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
- SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY

LEGAL DESCRIPTION
LOTS ELEVEN (11), AND TWELVE (12), IN BLOCK TWO HUNDRED FIVE (205), OF HOUSTON HEIGHTS, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1-A, PAGE 114, OF THE MAP RECORDS OF

PROPERTY SURVEY

* CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.



Residential Design
Construction Drawings - Permit
Drawings
maracadesign@gmail.com

PROJECT DESCRIPTION:
SINGLE HOME REMODELING / ADDITION PROJECT

CLIENT:
SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

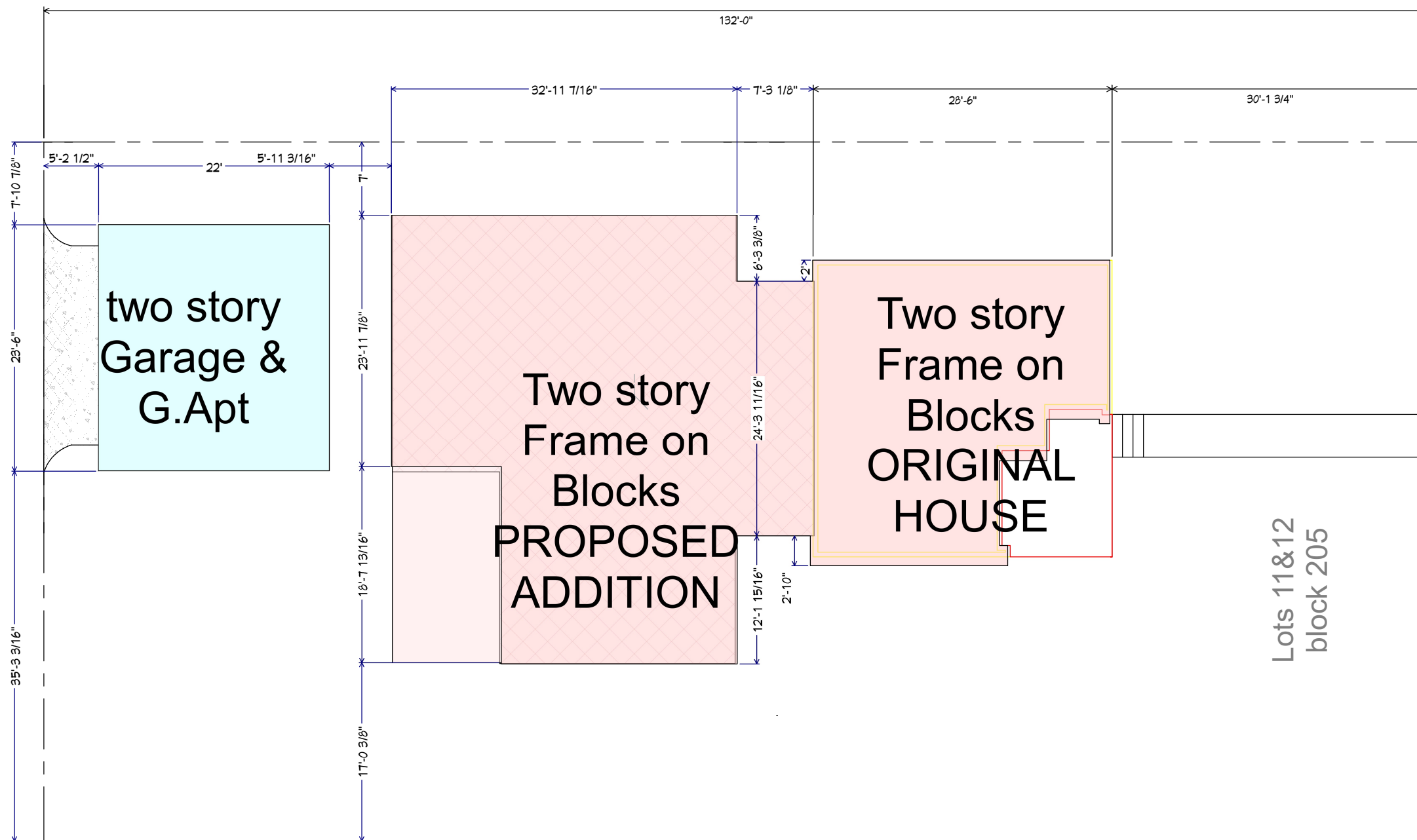
COVER SHEET

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023
SCALE: AS SHOWN

SHEET:
A-1

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**1113 TULANE STREET
70' R.O.W. (PORTLAND STREET)
PER PLAT)**

SITE ANALYSIS

LOT SIZE: 8,800 S.F.

LOT COVERAGE CALCULATIONS:

MAXIMUM ALLOWABLE LOT COVERAGE: 8,80 x 0.38 = 3,344 S.F.

A= LOT AREA: 8,800 S.F.

B = HOUSE GROUND FLOOR AREA: 2,090 S.F.

C = PORCH AREAS: 323 S.F.

D= DETACHED GARAGE : 516 S.F.

TOTAL LOT COVERAGE PROPOSED = 2,929 S.F.

FLOOR AREA RATIO CALCULATIONS:

MAX. FAR = 8,800 x .40 = 3,520 S.F.

FLOOR RATIO PROPOSED:

A - LOT AREA: 8,800 S.F.

B - 1ST. FLOOR AREA: 2,090 S.F.

C - 2ND. FLOOR AREA: 1,417

TOTAL PROPOSED FAR = 3,507 S.F.

GARAGE AREA PROPOSED = 516 S.F.

PROPOSED GARAGE APARTMENT AREA - EXEMPT = 516S.F.

**PROPOSED SITE PLAN
SCALE: 1/12"=1'-0"**

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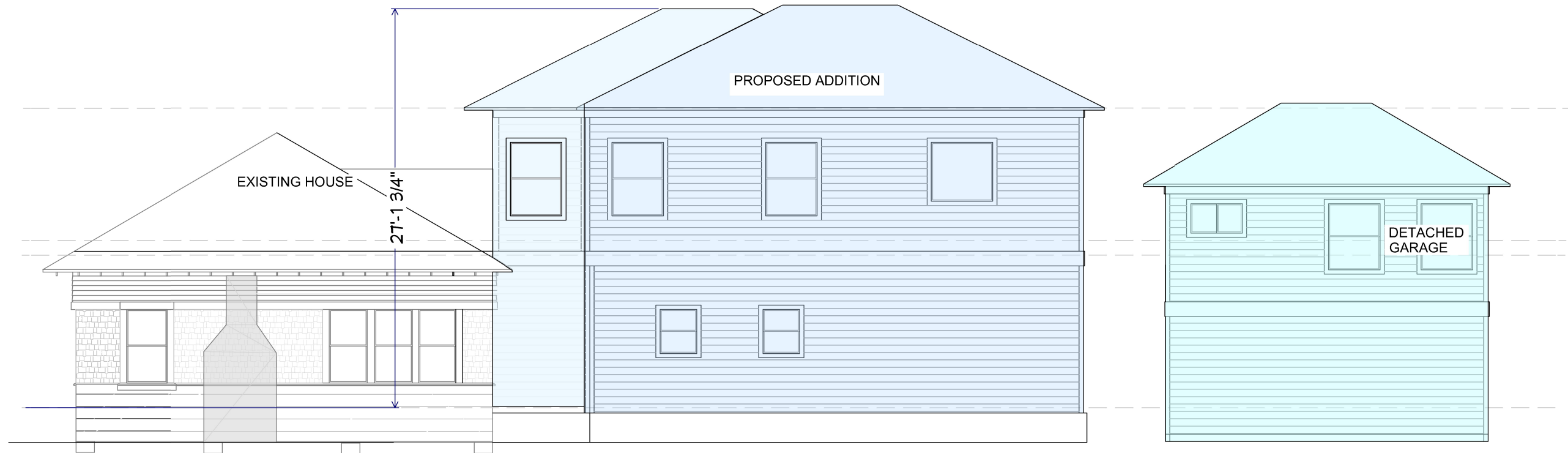
SHEET:

A-2

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EXISTING RIGHT SIDE



EXISTING MAIN ORIGINAL ELEMENTS WILL REMAIN UNCHANGED.

THE DRAWINGS INTENTS TO DEPICT THE ORIGINAL CONDITIONS OF THE HOUSE AS POSSIBLE.

PROPOSED RIGHT SIDE

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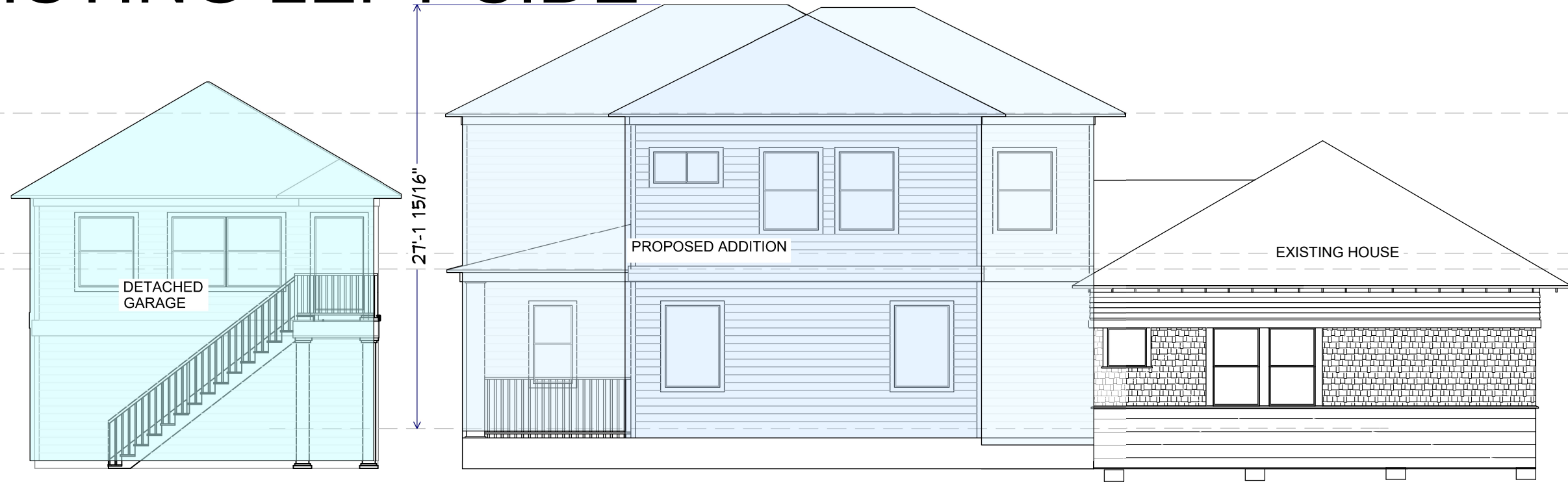
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SCALE: AS SHOWN

SHEET:
A-4

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EXISTING LEFT SIDE



PROPOSED LEFT SIDE

EXISTING MAIN ORIGINAL ELEMENTS WILL REMAIN UNCHANGED.

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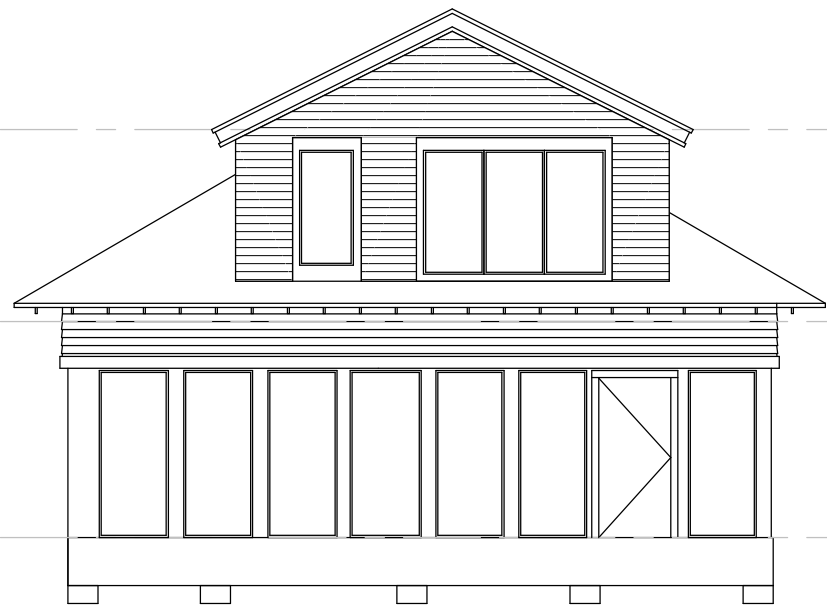
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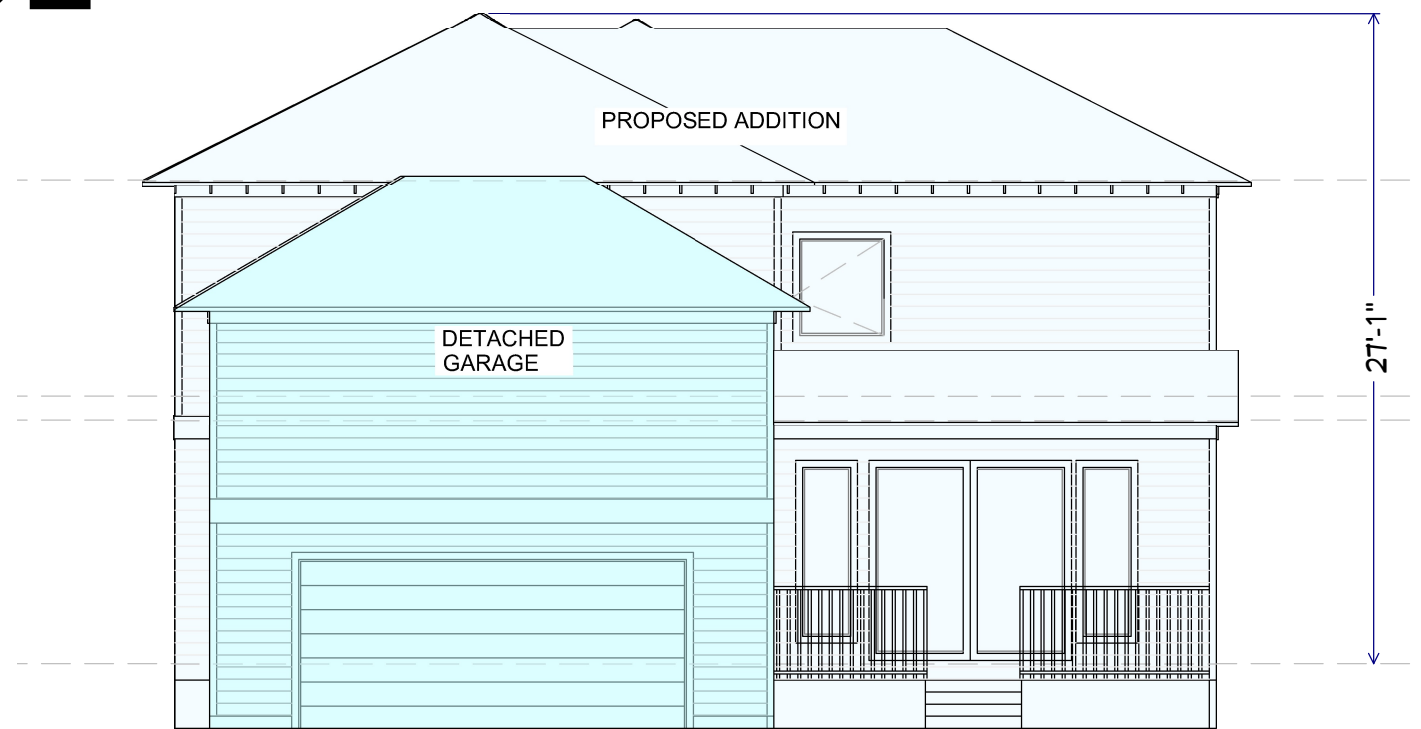
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SHEET:
A-5

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EXISTING BACK SIDE



PROPOSED BACK

EXISTING MAIN ORIGINAL ELEMENTS
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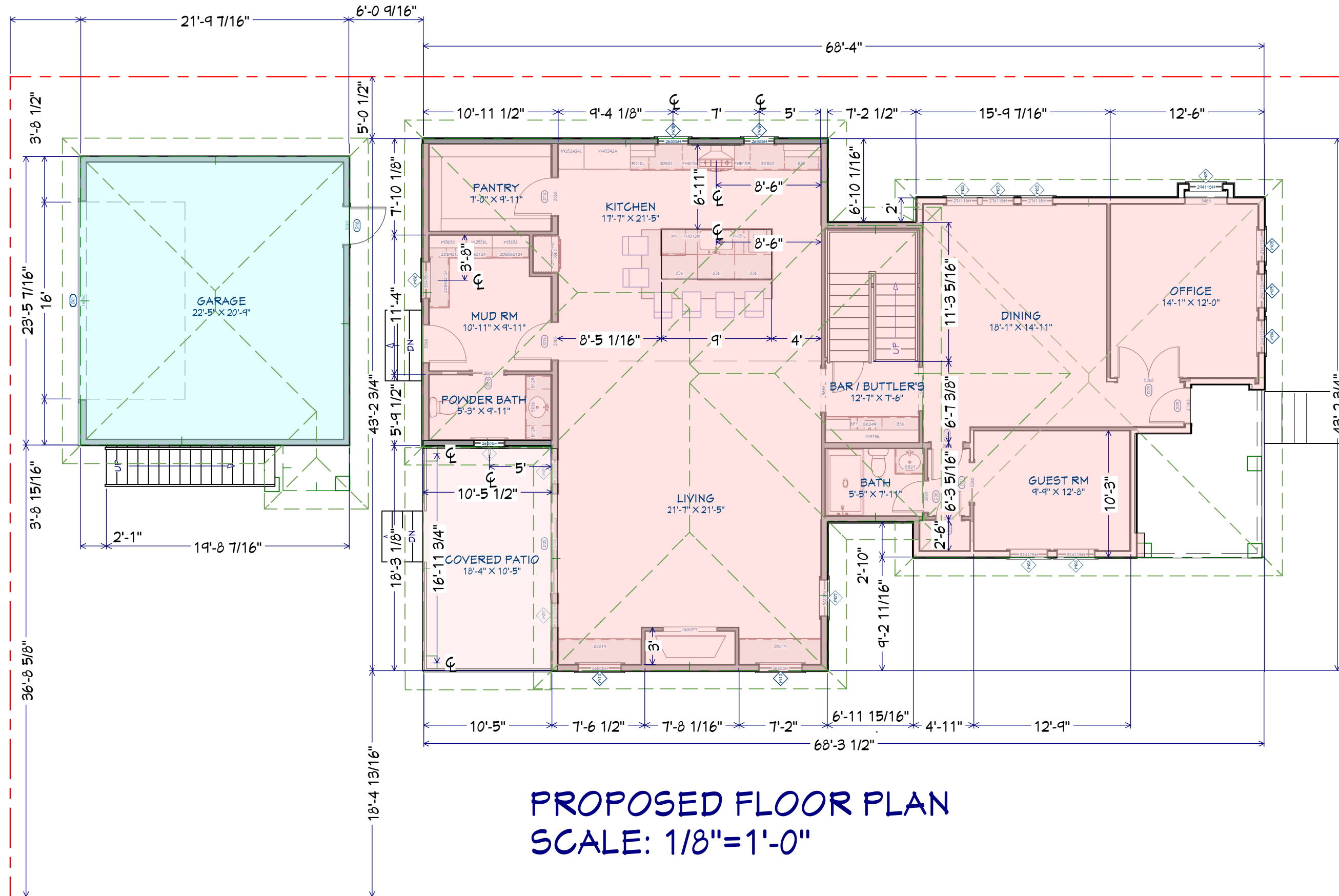
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SHEET:

A-6

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PROPOSED FLOOR PLAN

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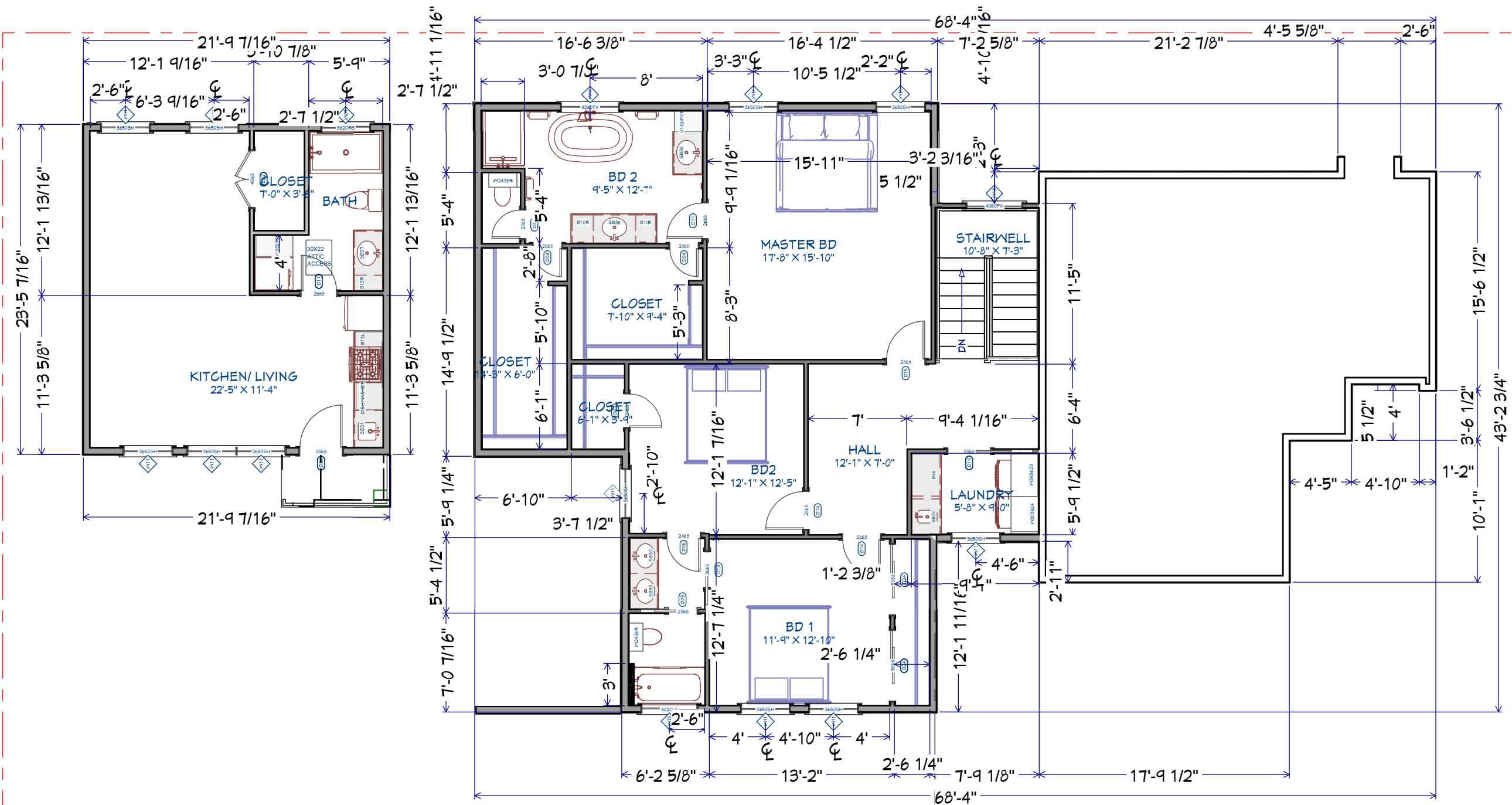
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SHEET:
A-8

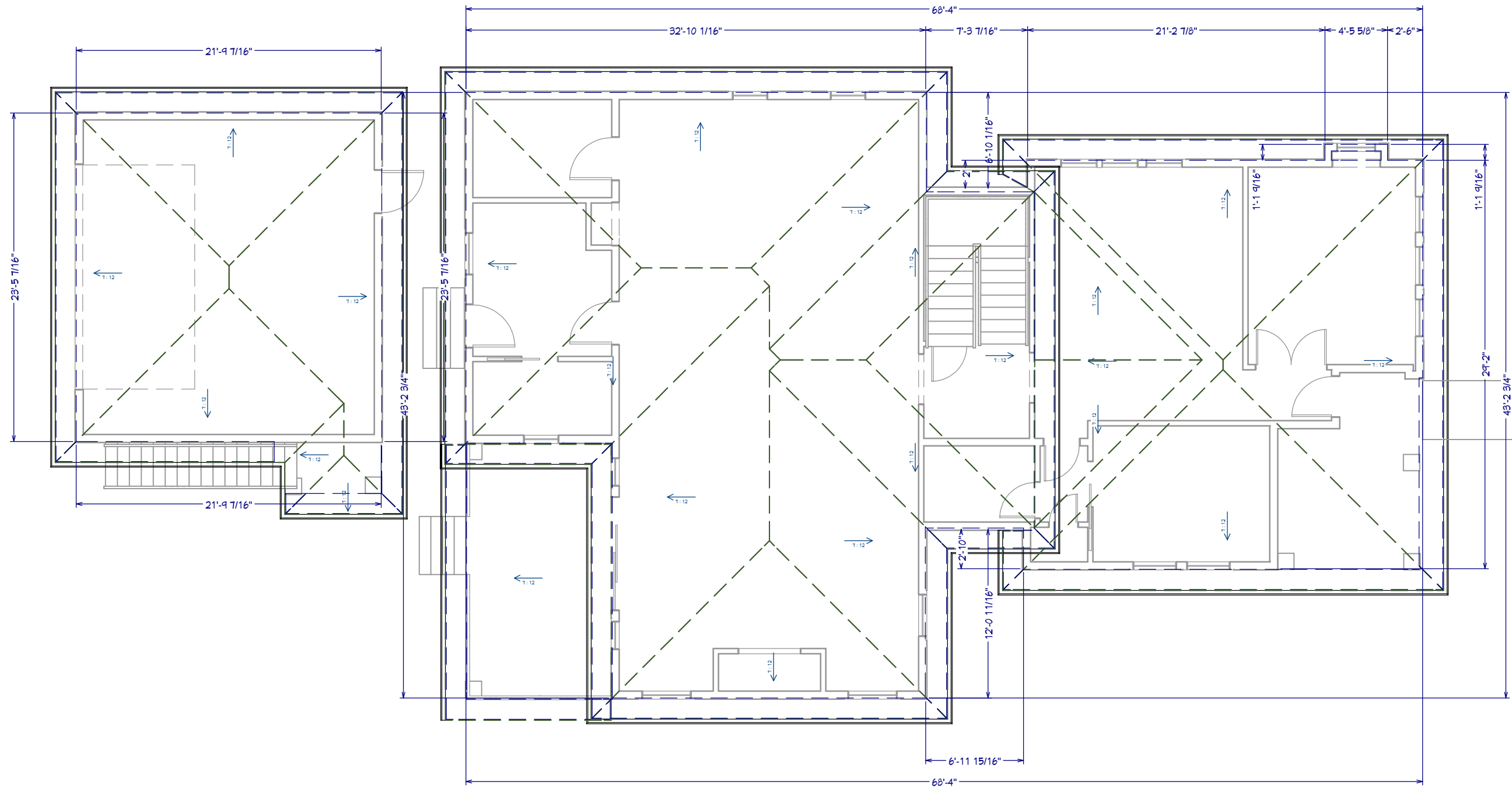


PROPOSED SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

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* To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints, will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. THE DESIGNER is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



Roof Plan View

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Residential Design
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

PROJECT DESCRIPTION:

SINGLE HOME
REMODELING /
ADDITION PROJECT

CLIENT:

SWOOP PROPERTIES LLC
1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST. DISTRICT REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

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DOOR SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	TEMPERED
D01	16080	1	1	16080	194"X99"	GARAGE-GARAGE DOOR CHD05	2X12X200" (2)	
D02	2068	1	1	2068 R IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)	
D03	2068	1	2	2068 L EX	49 1/4"X82 1/2"	EXT. POCKET-PANEL	2X6X52 1/4" (2)	
D04	2068	3	2	2068 L IN	26"X82 1/2"	HINGED-DOOR P04	2X6X29" (2)	
D05	21068	1	1	21068 L IN	36 1/16"X82 1/2"	HINGED-GLASS PANEL	2X6X39 1/16" (2)	
D06	2468	1	2	2468 L IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)	
D07	2468	1	2	2468 R IN	30 1/4"X82 1/2"	HINGED-DOOR P04	2X6X33 1/4" (2)	
D08	2668	1	1	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D09	2668	1	1	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X6X64 1/4" (2)	
D10	2668	2	1	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D11	2668	2	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X6X35" (2)	
D12	2668	1	2	2668 R EX	61 1/4"X82 1/2"	EXT. POCKET-DOOR P04	2X6X64 1/4" (2)	
D14	2868	2	2	2868 L IN	34"X82 1/2"	HINGED-DOOR P04	2X6X37" (2)	
D15	2868	1	2	2868 R IN	34 1/4"X82 1/2"	HINGED-DOOR P04	2X6X37 1/4" (2)	
D16	3068	1	1	3068 L EX	38"X83"	EXT. HINGED-DOOR E21	2X6X41" (2)	
D17	3068	1	1	3068 R EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)	
D18	3068	2	1	3068 L EX	38"X83"	EXT. HINGED-PANEL	2X6X41" (2)	
D19	3068	1	2	3068 L	73 1/4"X82 1/2"	POCKET-DOOR P04	2X6X76 1/4" (2)	
D20	3068	1	2	3068 R IN	38"X82 1/2"	HINGED-DOOR P04	2X6X41" (2)	
D21	3268	1	1	3268 R	77 1/4"X82 1/2"	POCKET-DOOR P04	2X6X80 1/4" (2)	
D22	4068	1	2	4068 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X6X53" (2)	
D23	5068	1	1	5068 L/R IN	62"X82 1/2"	DOUBLE HINGED-GLASS PANEL	2X6X65" (2)	
D24	5068	2	2	5068 R IN	62"X82 1/2"	SLIDER-DOOR P04	2X8X65" (2)	
D25	8068	1	1	8068 L IN	98"X82 1/2"	SLIDER-GLASS PANEL	2X8X101" (2)	YES

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	R/O	EGRESS	DESCRIPTION	HEADER	TEMPERED
W01	2068FX	2	1	2068FX	25"X81"		FIXED GLASS	2X6X28" (2)	YES
W02	2630SH	3	1	2630SH	31"X37"		SINGLE HUNG	2X6X34" (2)	
W03	27411SH	4	1	27411SH	32"X60"		SINGLE HUNG	2X6X35" (2)	
W04	28411SH	1	1	28411SH	33"X60"		SINGLE HUNG	2X6X36" (2)	
W05	29411SH	2	1	29411SH	34"X60"		SINGLE HUNG	2X6X37" (2)	
W06	3040SH	1	1	3040SH	37"X49"		SINGLE HUNG	2X6X40" (2)	YES
W07	3060FX	1	1	3060FX	37"X73"		FIXED GLASS	2X6X40" (2)	
W08	31411SH	2	1	31411SH	38"X60"		SINGLE HUNG	2X6X41" (2)	
W09	3620RS	1	2	3620RS	43"X25"		RIGHT SLIDING	2X6X46" (2)	YES
W10	3650DH	2	1	3650DH	43"X61"		DOUBLE HUNG	2X6X46" (2)	YES
W11	3650SH	11	2	3650SH	43"X61"		SINGLE HUNG	2X6X46" (2)	
W12	4020LS	1	2	4020LS	49"X25"		LEFT SLIDING	2X8X52" (2)	
W13	4060FX	1	2	4060FX	49"X73"		FIXED GLASS	2X8X52" (2)	YES
W14	4240FX	1	2	4240FX	51"X49"		FIXED GLASS	2X8X54" (2)	YES

SCHEDULE

NEW VINYL WINDOW
TO BE SLIM
BORDERS,
INSET TO MATCH
EXISTING STYLE.



Residential Design
Construction Drawings - Permit
Drawings
maracasdesign@gmail.com

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SINGLE HOME
REMODELING /
ADDITION PROJECT

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1113 TULANE ST
HOUSTON TEXAS 77008

SHEET DESCRIPTION:

DATE	DESCRIPTION
10/6/2023	ISSUED FOR HIST.
	DISTRIC REVIEW

DATE: 10/6/2023

SCALE: AS SHOWN

SHEET:

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